



**Project #23-011
Jack in the Box
Located at ~1200 South HWY 89/91**

REPORT SUMMARY...

Project Name: Jack in the Box
Proponent/Owner: Sherri Miller / Highway 89 Plaza, LLC
Project Address: ~1200 South HWY 89/91
Request: Design Review Permit
Current Zoning: Commercial (COM)
Date of Hearing: January 26th, 2023
Type of Action: Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **approve** a Design Review Permit for Project #23-011 Jack in the Box for a 2,341 SF commercial restaurant building located at approximately 1200 South Highway 89/91: TIN #02-087-0002.

Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	REC: Golf Course

Project Proposal

This is a proposal for a new 2,341 square foot (SF) fast-food restaurant, associated parking lot, landscaping, and other site improvements. The stucco, thin-brick and lap-siding single-story building is shown with a drive-thru window on the west façade and the main entrance on the east. The 22-foot-tall building is shown in a variety of colors and is planned to be open late at night. The overall 2.76-acre project site is planned for multiple pads site developments, with the Jack in the Box being the first and closest to the corner of 1200 South and Highway 89/91. The project area associated with Jack in the Box is approximately 0.8-acres and rectangular in shape. The proposed building alignment follows the diagonal angle of the Highway. A wetland delineation was submitted in conjunction with this site.



Figure 1 shows the south façade of the proposed Jack in the Box.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits restaurants (both sit down and fast food) in the COM zoning district. The COM zoning designation is the City's primary economic zone and permits a wide range of commercial buildings and uses.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the COM zone are as follows (as measured from property lines):

Front:	10'
Side:	8'
Rear:	10'
Parking:	10'

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

Front (West):	22'
Side (South, Corner):	51'
Side (North):	52'
Rear (East):	200+'
Parking (South/West):	10'

As proposed, the project meets minimum setback requirements of the LDC.

Lot Coverage

The LDC 17.10.080 establishes a maximum lot coverage of 60% (building(s) footprint) in the COM zone. The total project site is approximately 0.80 acres in size and with a 2,341 SF building, the lot coverage would equal approximately 7%. As proposed, the lot coverage complies with standards in the LDC.

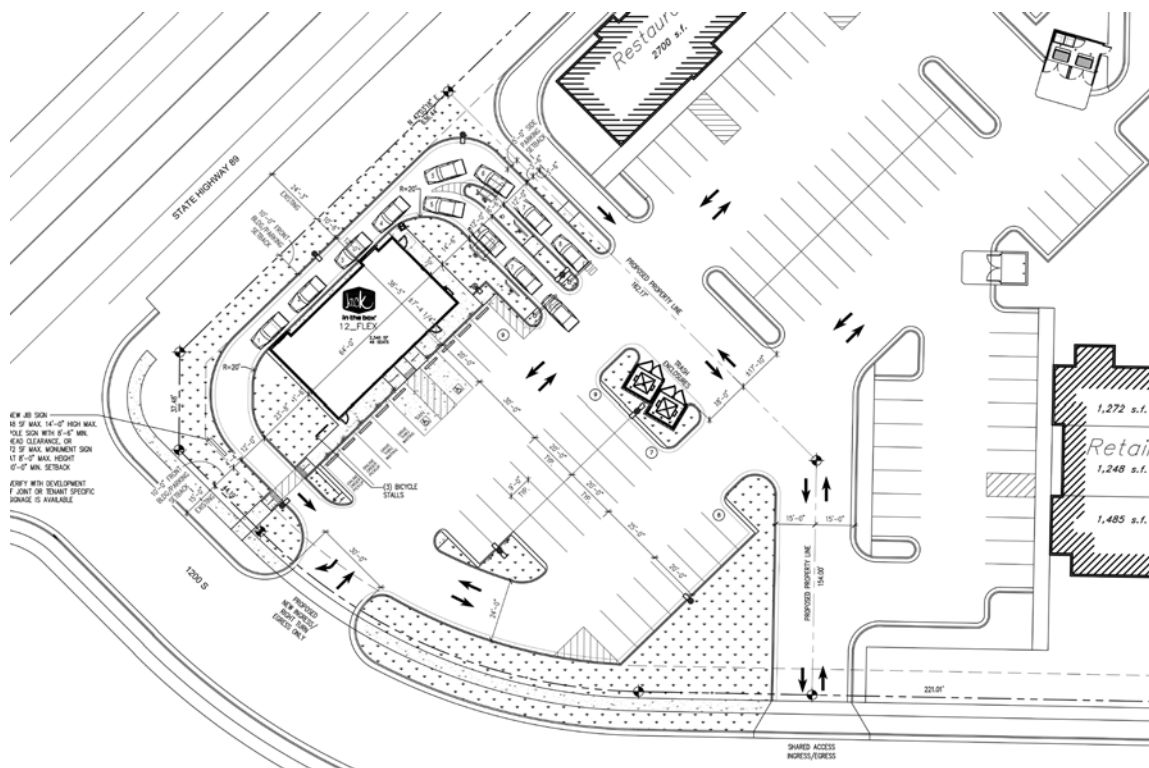


Figure 2 shows the proposed site plan

Lot Frontage

The LDC 17.10.080 establishes a minimum lot frontage of 50%. Lot frontage compares the width of the building in relation to the width of the lot or project site area. In this case, the project site width is approximately 168 feet wide, and the proposed building is 64 feet wide resulting in an approximate 38% lot frontage. As conditioned with additional lot frontage to reach minimum code standards, the project complies with standards in the LDC.

Building Design

The LDC 17.12.020 requires four-sided architecture with all sides of the building receiving equal architectural design consideration. Blank or featureless walls in the COM zone are limited to no more than 40-foot lengths. Generally, no building shall have blank walls unless the decision-making body determines the impacts are minimal. Ground floor street facing facades shall have a minimum of 30% transparency (fenestration). The proposed building shows a variety of shapes, materials and finishes that comply with blank wall requirements but the proposal shows less than the 30% transparency on the west and south facades. The west façade shows two drive-thru windows totaling approximately 5% transparency and the south façade show windows near the east side totally approximately 20%. Most of the transparency is located on the east façade adjacent to the parking lot and contains approximately 40% on that side of the building. As conditioned with additional transparency on the west and south side, the building design meets LDC standards.

Pedestrian Circulation

The LDC 17.10.030 requires safe and convenient pedestrian circulation that results in sidewalks connecting streets to building entrances. The site layout shows a sidewalk connection from 1200 South to the east entrance of the building. As the development continues to the northeast, the sidewalk should extend to other businesses for overall pedestrian circulation. As conditioned with the sidewalk continuing to the northeast edge of this project site boundary, the project meets the requirements in the LDC.

Parking Stall Requirements

The LDC 17.31.040 requires one parking stall per every 150 SF of fast-food restaurant square footage. At 2,341 SF, this building would require 16 parking stalls. The proposed site plan contains 33 parking stalls. Restaurants require bike racks as per LDC 17.31.040 and the submittal shows a bike rack near the entrance of the building. As submitted, the project meets the parking requirements in the LDC.

Open Space, Landscaping and Wetlands

The LDC 17.10.030 requires 10% open space and an additional 10% useable outdoor space of the project site in the COM zone. The LDC 17.28 generally describes open space as landscaped areas, decks, patios, and other similar outdoor amenities. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers, and ornamental grasses per acre of land in the COM zone. The proposed plan shows conceptual areas for open space, outdoor space, and landscaping around the perimeter of the site and near the south side of the building. The attached wetland delineation shows no Army Corps recognized jurisdictional wetlands located on this project site. There are FEMA identified floodplains and are conditioned by the Public Works Department. As conditioned with an open space and landscaping plan detailing these areas prior to a building permit, the project complies with the requirements in the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As

submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

<ul style="list-style-type: none"> ● Environmental ● Fire 	<ul style="list-style-type: none"> ● Water ● Engineering
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PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 1/14/23, posted on the City’s website and the Utah Public Meeting website on 1/16/23 and mailed out to adjacent property owners within 300’ on 1/9/23.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. This permit authorizes a new 2,341 SF fast-food restaurant building.
3. The west and south facades shall have 30% transparency. The Planning Commission may approve spandrel windows or landscape trellising that can count towards this minimum requirement.
4. Additional building mass or other Planning Commission approved elements shall be added to the existing building width for total lot frontage of at least 50%.
5. The project shall provide at least 16 parking stalls and a bike rack.
6. Open space and landscaping shall comply with LDC standards and detailed landscaping plans shall be submitted and approved prior to a building permit issuance. Street tree shall be planted along street frontages at 30 foot spacing.
7. The sidewalk connecting the building to 1200 south shall be extended to the project boundary in a functional alignment for pedestrian access to future retail/restaurant buildings to the north.
8. No new open storm-water detention basins shall be placed in the yard between the building and the adjoining streets. Open storm-water detention ponds in view from the public way shall be landscaped in a way to buffer and screen the storm water area.
9. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls, and landscaping.
10. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
11. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
12. Standard streetscape improvements will be required along Main Street with driveway access being limited to the joint access agreements located to the north of this site.
13. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.

14. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
15. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - Minimum 60 ft. straight on clear access required. Approach must be level, no down or uphill slopes and no parking spaces or curb blocking access.
 - Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
 - Place bollards in the back of the enclosure to protect walls.
 - Gates are not required, however if desired, they must be designed to stay open during the collection process.
 - Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
 - b. *Water—contact 716-9622*
 - The buildings water main needs to have a RP (ASSE1013) installed and tested on the water main after the water meter, as it enters the building before any branch offs or possible connections inside or outside of building. Properly sized drain required to serve the backflow assemblies dump port. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
 - Refer to 2018 IPC Utah State Amendment # 608.1.1,608.1.2,608.1.2.1 for installation criteria.
 - All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
 - Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and all B/F assemblies must be installed and tested as per Logan City standards.
 - Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow prevention and cross connection protection, during and after construction, for the safety of the water.
 - c. *Engineering – contact 716-9160*
 - Provide water shares or in-lieu fee for indoor and outdoor increased demands to the City system. This requirement shall be per City Code and Utah Administrative Rule R509-519-7
 - Show all existing easement lines on the plat and provide the type of easement and recording information for each on the plat. Where non-existent or insufficient, provide a 10' Public Utility Easement along all frontages and perimeter property lines, and provide a 5' Public Utility Easement along each side of all interior property lines. All dedication documents shall be accompanied with a metes and bounds legal description and a separate legal description exhibit that is tied to two City approved monuments.
 - Provide all necessary cross access easements/agreements for private road and private utilities across all properties.
 - The engineering design shall coordinate with and adjust plans as may be necessary to account for improvements being designed and / or constructed by adjacent developers, UDOT, and Logan City.
 - This development has been identified as a 2 lot subdivision and as such shall provide a minor subdivision plat that meets City standards to be recorded along with the improvement plans.

- Provide Development Agreement and financial surety of at least 110% of the cost to construct all infrastructure & storm water improvements. Financial assurances shall not expire for a minimum of 2 years from date of City acceptance.
- Provide a Geotechnical Report that includes but is not limited to: 1) California Bearing Ratio (CBR) of subgrade of pavement section, 2) Historical high ground water elevation, and 3) Percolation rate of soils at bottom of all storm water retention ponds.
- A "Pre construction meeting" shall be held with the City's Engineering Division prior to starting construction activities and a "Work in the Right of Way" permit shall be obtained for all work in the City's right-of-way and PUE prior to scheduling the Pre Construction meeting.
- Wetlands have been identified as existing or previously existing on the property. Provide a wetlands delineation study to confirm the location of any wetlands. If wetlands are found, provide a wetlands mitigation plan approved by the Army Corps of Engineers.
- The property is located in the 100 year floodplain limits. As such, development is subject to the City's floodplain code. A floodplain permits, and no rise certificate shall be provided with construction plans. It is recommended that a CLOMR / LOMR be completed to remove the property from the floodplain. The property shall be constructed a minimum 1' above the base flood elevation.
- This development is located in an area of high water table (0 to 24 inches) and classified as having moderate liquefaction potential; as such structures shall be designed accordingly.

UTILITIES

- They are existing sewer and underground power located on within the property on the south. These lines shall be protected in place and access provided for maintenance.
- All utilities outside of the public right-of-way way shall be private lines and shall be owned, maintained, repaired/replaced by the owner or Property Association. All infrastructure shall be installed, maintained, and repaired/replaced in accordance with Logan City Standards.
- Provide City with private Water Utility agreement for all private water and sewer lines (including fire lines) not located withing a Public Right of Way. The agreement shall be recorded with the County Recorder.
- Coordinate with the Fire Marshall to ensure sufficient fire hydrants are located in and around the site to meet fire code requirements.
- No site utility plans submitted with application, City will review and coordinate these utilities with the Building Permit review and approval.

STORMWATER / IRRIGATION

- Provide storm water detention/retention per Logan City Design standards. This includes the retention of stormwater from an adjacent existing street or stormdrain that discharges to the property. Retention of the 90% storm event is required and shall be provided through the use of Low Impact design methods.
- Except for stormwater from City rights-of-way which shall be managed on the property, the development shall either incorporate into its stormwater design or pass through in a historical manner any stormwater that flows onto the property from adjacent properties.
- Provide a stormwater maintenance agreement for City Review, approval, and recordation at County Recorder's Office.
- Area is less than 1 acre so compliance with State Storm Water Permit is not required. Development shall comply with Logan City design standards for storm water detention/retention. Development shall also provide a sediment and erosion control plan for all construction activities.

- Maintain the capacity, size, and location of all existing irrigation system infrastructure along and within the project; or where irrigation infrastructure is required to be relocated or changed, improve the infrastructure to the irrigation company standards. The City will require all affected Irrigation companies to provide a signature approval on all final construction plans and final plats.
- The plans submitted do not show stormwater management improvements on the property, including the provision for storm water detention/retention basins. Additional common / open space area may be required to comply with the City's stormwater management standards especially given the high water table.
- The minimum diameter of storm drain piping in a City right of way shall be 15 inches unless a larger size is required by the design.

STREETS

- Provide street improvements on highway 89/91 per UDOT requirements.
- The full movement access to the property shall be located at the existing driveway location. A raised median pork chop shall be constructed on the west driveway to preserve the integrity of the right-in right-out access.
- Where the existing half street or portion thereof is damaged during construction; owner shall reconstruct the pavement cross section out to an area of good condition asphalt. If required, a minimum 3' of existing asphalt shall be removed and replaced.
- Provide a traffic impact study for review and approval by the City and follow all recommendations identified.

d. Fire – contact 716-9515

- Fire apparatus access and fire hydrants required.
- Need a fire flow report to determine available fire flow.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides adequate off-street parking.
5. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high-capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
6. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only		<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review	
Date Received	Planner	Zone/Neighborhood	Scheduled Meeting Date		Application Number		
12/12/22		COM/WOODRUFF	JAN. 26		PC 23-012		
Type of Application (Check all that apply):							
<input checked="" type="checkbox"/> Design Review		<input type="checkbox"/> Conditional Use		<input type="checkbox"/> Subdivision		<input type="checkbox"/> Administrative Design Review	
<input type="checkbox"/> Code Amendment		<input type="checkbox"/> Appeal		<input type="checkbox"/> Zone Change		<input type="checkbox"/> Other	
PROJECT NAME JACK IN THE BOX RESTAURANT							
PROJECT ADDRESS W 1200 S + HWY 89, LOGAN, UT 84321					COUNTY PLAT TAX ID # 02-087-0002 SEE ATTACHED TITLE		
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER MAGELLAN ARCHITECTS; SHERRI MILLER					PHONE # 425-885-4300		
MAILING ADDRESS 8383 150 TH AVE NE #280		CITY REDMOND		STATE WA		ZIP 98052	
EMAIL ADDRESS sherri@magellanarchitects.com							
PROPERTY OWNER OF RECORD HIGHWAY 89 PLAZA, LLC					PHONE #		
MAILING ADDRESS 4676 YERBA SANTA DR.		CITY SAN DIEGO		STATE CA		ZIP 92115	
EMAIL ADDRESS							
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) NEW GROUND-UP DRIVE-THRU RESTAURANT AND ASSOCIATED SITEWORK.						Total Lot Size (acres) 35,766 SF	
						Size of Proposed New Building (square feet) 2,341 SF	
						Number of Proposed New Units/Lots 0 - COMMERCIAL	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.				Signature of Property Owner's Authorized Project Representative <i>[Signature]</i> MAGELLAN ARCHITECTS			
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				Signature of Property Owner <i>[Signature]</i>			

**APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL**

PRELIMINARY SITE INFORMATION

LEGAL DESCRIPTION: ALL THAT PT OF LOT 1 BLK 3 PLAT B ROVIDENCE FARM SVY LYING E OF US HIGHWAY 91 NE/4 SEC 9 T 11N R 1E NET 2.72 AC ALSO PT OF VACATED 1200 S ST ENT 1142278 PARCEL A CONT 0.19 AC LESS PARCEL TO LOGAN CITY AT HWY 91 & 1200 S ST ENT 1192031 (0018) CONT 0.15 AC NET 2.76 AC IN ALL

PARCEL NO.: 02-087-0002
SITE AREA: +/- 120,225 SF (2.76 ACRES)
SITE AREA USED: 35,766 SF
BUILDING AREA: 2,340 SF

PARKING REQUIRED: 1 STALL PER 75 SF CUSTOMER SERVICE AND DINING AREA, OR 1 STALL PER 150 SF, WHICHEVER IS GREATER = 16 STALLS MIN.

PARKING PROVIDED: 33 STALLS

DRIVE-THRU: 4 CAR STACKING REQUIRED BETWEEN ORDER DISPLAY AND PICK-UP WINDOW. (5 PROVIDED). 8 CAR STACKING REQUIRED BETWEEN ORDER DISPLAY AND ON OR OFF-SITE TRAFFIC MOVEMENT. (6 PROVIDED)

BIKE STALLS REQUIRED: 1 PER 10 CAR STALLS = 3

SITE LAYOUT MAY CHANGE DUE TO UNKNOWN SITE CONDITIONS.
 ALTA SURVEY REQUIRED FOR ACCURATE SITE LAYOUT.



DATES

RELEASE: _____
 P.M. UPDATES: _____
 SUBMITTAL DATE:
 1: _____
 2: _____
 3: _____

BID: _____
 CONSTRUCTION: _____

REVISIONS

△ _____
 △ _____
 △ _____
 △ _____
 △ _____

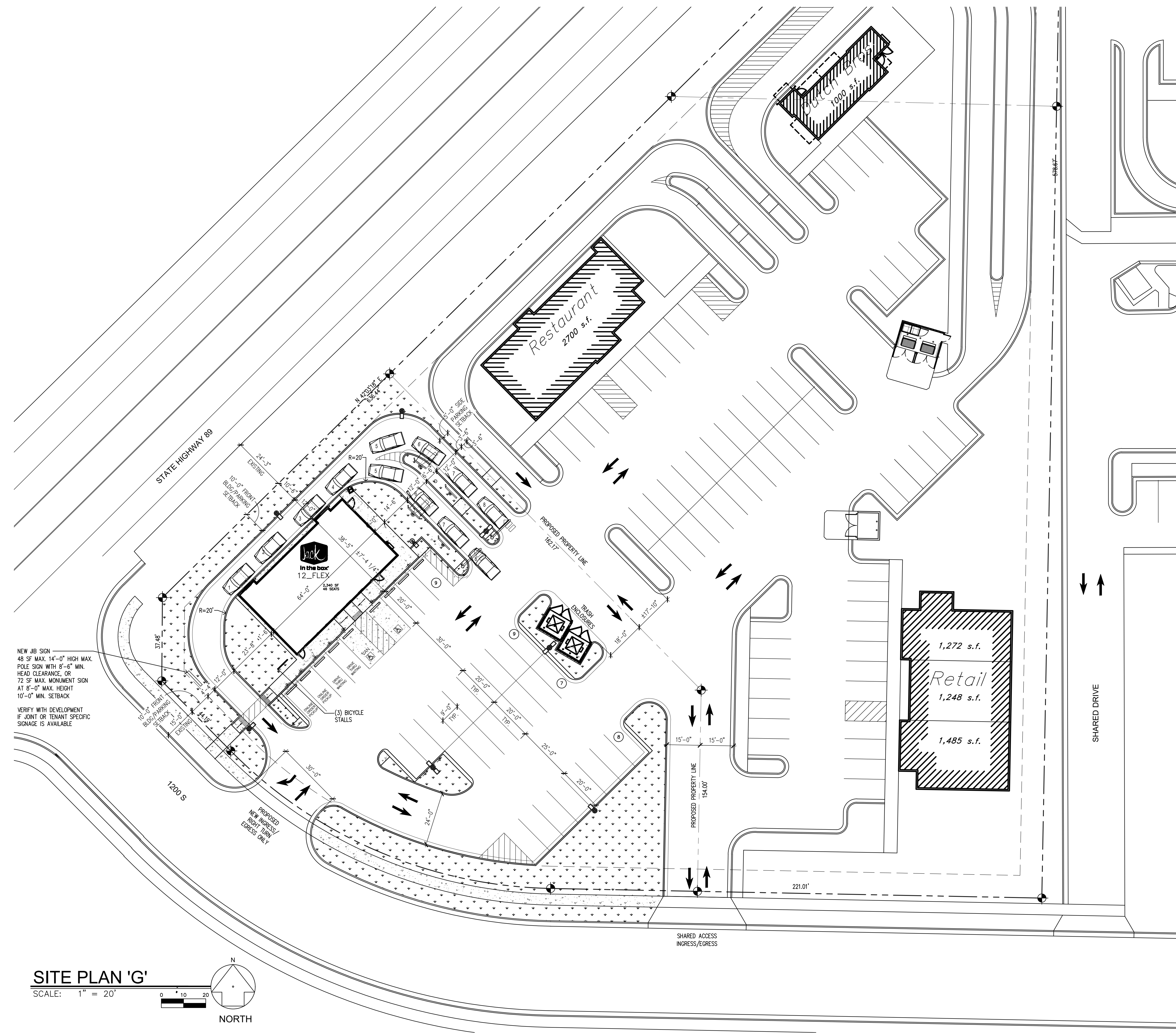
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SITE INFORMATION

MK TYPE: MK12_FLEX
 JIB #: 0000
 ADDRESS: 1200 S. HWY 89 S
 LOGAN, UT

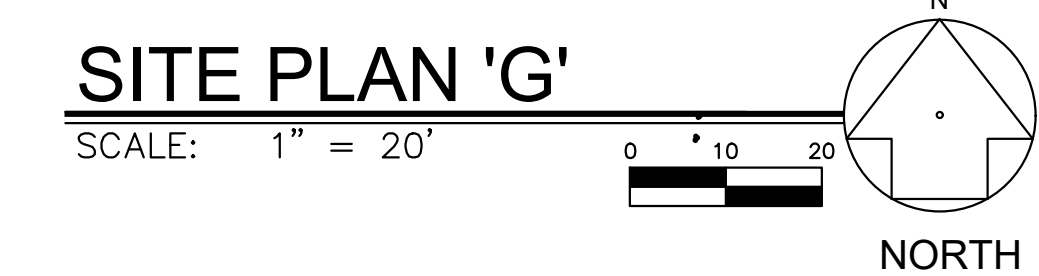
DRAWN BY: JB
 PROJECT #: 21-200
 SCALE: 1" = 20'-0"

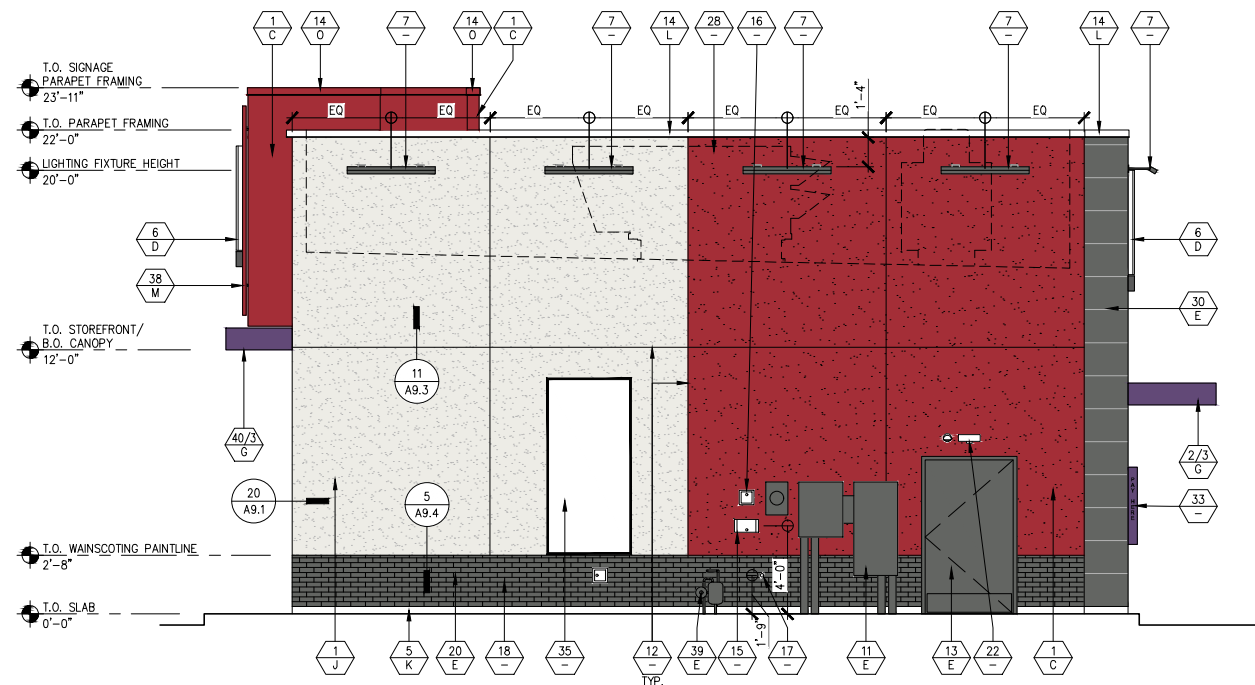
SITE PLAN
 (H)
SD1.0



NEW JIB SIGN
 48 SF MAX. 14'-0" HIGH MAX.
 POLE SIGN WITH 8'-6" MIN.
 HEAD CLEARANCE, OR
 72 SF MAX. MONUMENT SIGN
 AT 8'-0" MAX. HEIGHT
 10'-0" MIN. SETBACK

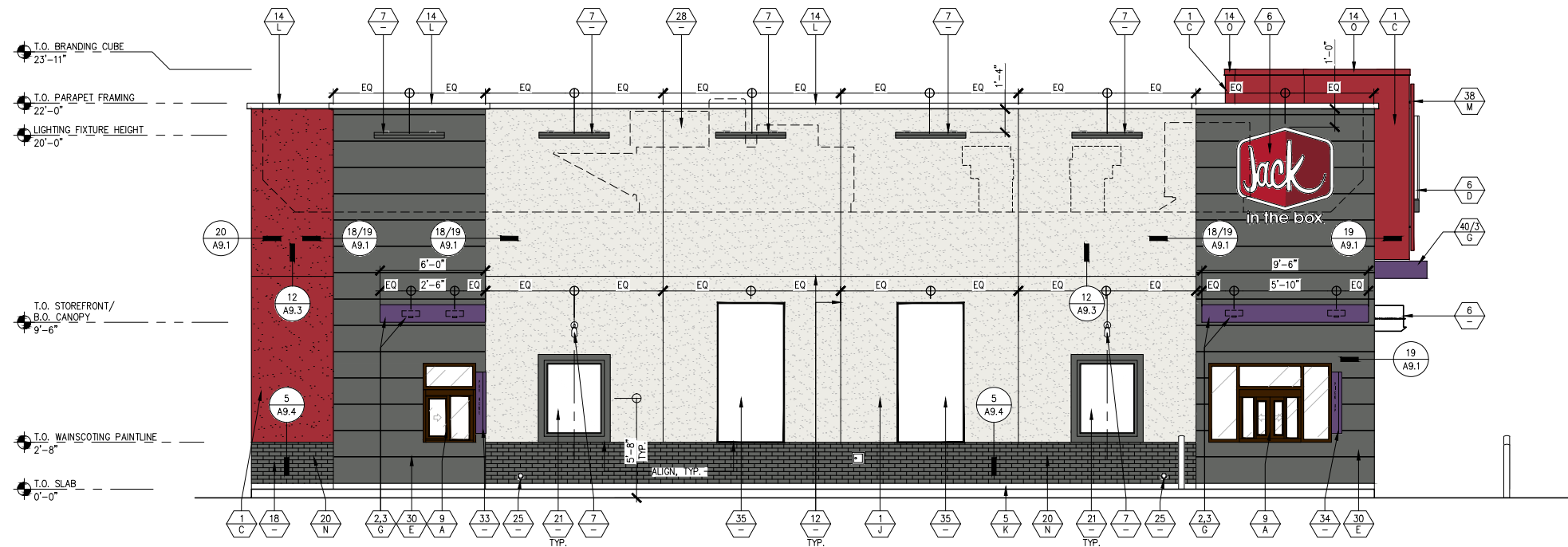
VERIFY WITH DEVELOPMENT
 IF JOINT OR TENANT SPECIFIC
 SIGNAGE IS AVAILABLE





1 REAR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. REFER TO A1.0 FOR DOOR & WINDOW TAGS & A8.0 SHEET SERIES FOR DOOR & WINDOW TYPES & SCHEDULES.
- B. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C)
- C. ALL PLASTER ACCESSORIES, FLASHING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.N)
- D. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- E. ALL FINISHES, LIGHTING, & EQUIPMENT ARE TO BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL.
- F. SEE ID4 SHEET SERIES FOR EQUIPMENT, FURNITURE, SIGNAGE, & INTERIOR FINISH SCHEDULES DESIGNATED BY (XX-XXX).

COLORS

- A. DARK BRONZE ANODIZED ALUMINUM
- B. COLOR/ FINISH TO MATCH ADJACENT SURFACE
- C. SHERWIN WILLIAMS: SW 7588 "SHOW STOPPER"
- D. JIB LOGOS: WHITE TEXT - RED BACKGROUND
- E. SHERWIN WILLIAMS: SW 7068 "GRIZZLE GRAY"
- F. THIN-BRICK VENEER: WIRE CUT, "ICEBERG"
- G. CANOPY: SW 6832 "IMPULSIVE PURPLE"
- H. SHERWIN WILLIAMS: SW 6832 "IMPULSIVE PURPLE"
- I. FOOD LOCKER & DOOR PULL: RAL 3001 "SIGNAL RED"
- J. SHERWIN WILLIAMS: SW 7005 "PURE WHITE"
- K. CONCRETE: NATURAL/ GRAY
- L. COPING: DUROLAST "BONE WHITE"
- M. ACM PANELS: "CLASSIC RED"
- N. THIN-BRICK VENEER: "MIDNIGHT SKY"
- O. COPING: DUROLAST "BRITRE RED"

EXTERIOR ELEVATION LEGEND

- Material/Finish symbol: # X
- Color symbol: #
- LED ROPE LIGHT FACE MOUNTED BY JIB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.
- LED ROPE LIGHT IN COPING COVE BY JIB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.

EXTERIOR FINISH SCHEDULE

- 1. EXTERIOR CEMENT PLASTER-SAND FLOAT FINISH & INTEGRAL COLOR, SEE SPECIFICATIONS.
- 2. PRE-FAB CANOPY BY JIB VENDOR, SEE DETAIL 7/A9.5 (O.F.O.I).
- 3. MOUNT LIGHTING FIXTURE WITHIN CANOPY, COORDINATE WITH VENDOR MOUNTING REQUIREMENTS.
- 4. ALUMINUM STOREFRONT SYSTEM, SEE WINDOW TYPES & SPECIFICATIONS.
 - 1" CLEAR INSULATED GLASS W/ SOLARBAN 70XL COATING
 - 1" CLEAR INSULATED PER LOCAL AHJ REQUIREMENTS
 - ANTI GRAFFITI FILM W/ SOLARBAN 60 COATING
- 5. EXPOSED CONCRETE CURB/ STEM WALL.
- 6. INTERNALLY ILLUMINATED SIGNAGE BY JIB VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL).
- 7. WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 6/A9.5 FOR FIXTURE ATTACHMENT.
- 8. NOT USED
- 9. DRIVE-UP WINDOW, SEE A1.0 & A8.1.
- 10. INTERNALLY ILLUMINATED ADDRESS, MIN. 12"H, WHITE LETTERS (OF-E08), OR AS REQUIRED PER LOCAL JURISDICTION (O.F.O.I, UNDER SEPRATE SUBMITTAL).
- 11. MAIN ELECTRICAL SERVICE, SEE ELECTRICAL & CIVIL DWGS.
- 12. CONTROL JOINT, SEE DETAIL 11/A9.3.
- 13. HOLLOW METAL DOORS & FRAMES, MISCELLANEOUS TRIM.
- 14. ALUMINUM COPING WITH FACATORY APPLIED FINISH, VERIFY W/ ROOF PLAN COPING AT LED ROPE LIGHTING LOCATION, SEE DETAILS 6, 7, & 8/A9.6.
- 15. CO2 FILL BOX, SEE DETAIL 5/A9.3.
- 16. BULK OIL FILL BOX (OPTION), SEE DETAIL 3/A9.3. VERIFY W/ JIB CONSTRUCTION IF REQUIRED.
- 17. GREASE TANK RECOVERY TAP-IN (STANDARD), SEE DETAIL 4/A9.3.
- 18. RECESSED, LOCKABLE, NON-FREEZE HOSE-BIB ENCLOSURE.
- 19. NOT USED
- 20. THIN-BRICK VENEER, SEE SPECIFICATIONS.
- 21. DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 9/A9.3.
- 22. EXTERIOR WALL PACK LIGHT FIXTURE
- 23. ORDER PICK-UP FOOD LOCKER
- 24. NOT USED
- 25. DOWNSPOUT OUTLET, SEE DETAIL 7/A9.0.
- 26. JIB CUSTOM STOREFRONT DOOR PULL, SEE HARDWARE SCHEDULES (OF-EQ13).
- 27. NOT USED
- 28. ROOF TOP MECHANICAL EQUIPMENT BEYOND, SEE MECHANICAL & HOOD DWGS.
- 29. NOT USED
- 30. FIBER CEMENT PANEL BY JAMES HARDIE ARCHITECTURAL WALL PANELS, SEE SECTIONS, DETAILS AND SPECIFICATIONS.
- 31. WINDOW SIGN (OF-EQ12).
- 32. NOT USED
- 33. "PAY HERE" BLADE SIGN (OF-EQ7A).
- 34. "PICK-UP" BLADE SIGN (OF-EQ7B).
- 35. GRAPHIC PANEL BY JIB SIGN VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL).
- 36. INTERNALLY ILLUMINATED SIGN WITH WHITE LETTERS WITH "PURPLE" BACKGROUND PROVIDED BY JIB VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL).
- 37. BRAKE METAL WRAP & COLUMN, SEE SHEET A1.0 & DETAILS ON A9.2.
- 38. METAL PANEL VENEER SYSTEM BY JIB VENDOR, SEE SECTIONS & DETAILS.
- 39. GAS METER, SEE A1.0, MECHANICAL, & CIVIL DWGS.
- 40. PRE-FABRICATED CANOPY FASCIA W/ INTERNALLY ILLUMINATED LETTERS, BY JIB VENDOR.



Jack in the box

9357 SPECTRUM CENTER BLVD
SAN DIEGO, CA 92123

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DATES

RELEASE: OCTOBER 2022

P.M. UPDATES:

SUBMITTAL DATE:

1: _____

2: _____

3: _____

BID: _____

CONSTRUCTION: _____

REVISIONS



SITE INFORMATION

BLDG TYPE: MK12_FLEX

JIB #: 1317

ADDRESS:

W 1200S & HWY 89

LOGAN, UT

DRAWN BY:

PROJECT #: ###200

SCALE: AS NOTED

EXTERIOR ELEVATIONS
FLEX
A4.1



9357 Spectrum Center Blvd
San Diego, CA 92123

MK12_FLEX

EXTERIOR

1 of 2

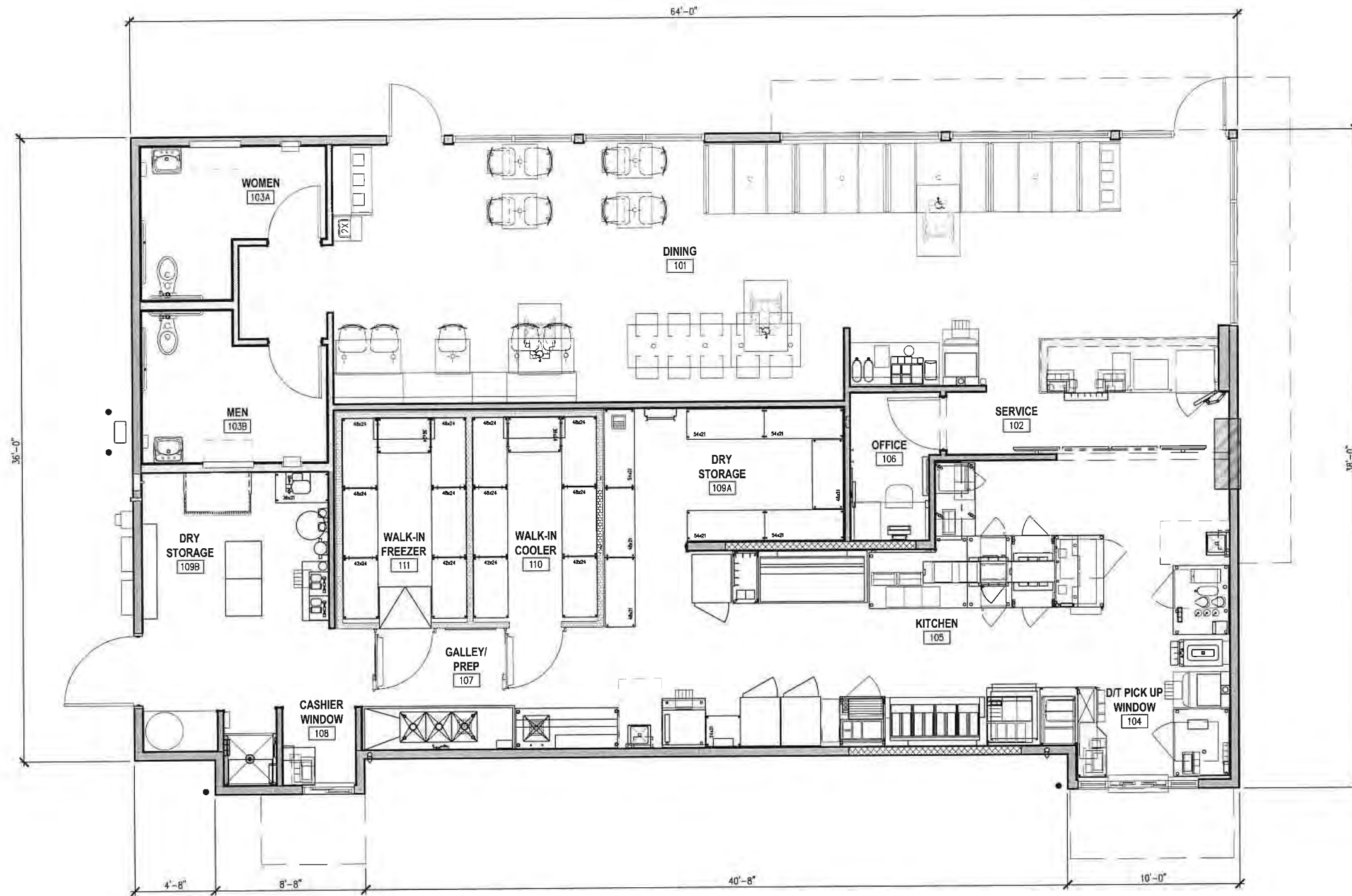


9357 Spectrum Center Blvd
San Diego, CA 92123

MK12_FLEX

EXTERIOR

2 of 2



9357 Spectrum Center Blvd
San Diego, CA 92123

MK12_FLEX

FLOOR PLAN

1 of 1



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, SACRAMENTO DISTRICT
1325 J STREET
SACRAMENTO CA 95814-2922

August 20, 2021

Regulatory Division (SPK-2000-50057)

Whagtail J LLC
Attn: Ms. Melissa Johnson
238 Lauralin Drive
Logan, Utah 84321
melissajrs32@yahoo.com

Dear Ms. Johnson:

We are responding to your June 9, 2021 request to amend the name for the previously approved jurisdictional determination, dated July 14, 2021, for the Whagtail Parcel-Logan site. The approximately 3.0-acre project site is located near Spring Creek, Latitude 41.7109772740622°, Longitude -111.840132393623°, in Logan, Cache County, Utah (enclosure 1).

Based on available information, we concur with your aquatic resources delineation for the site as depicted on the enclosed June 2021 Wetland Delineation Map prepared by Coleman Kline of Civil Solutions Group Inc. (enclosure 2). Approximately 2.22 acres of aquatic resources, consisting of 2.22 acres of freshwater emergent wetland, are present within the survey area. This letter verifies that the location and boundaries of wetlands were delineated consistent with the wetland definition at 33 CFR §328.3(c)(16), the 1987 Corps of Engineers Wetlands Delineation Manual (Wetlands Research Program Technical Report Y-87-1).

Of these aquatic resources, we have determined that the 2.22 acres of freshwater emergent wetlands are not waters of the United States regulated under Section 404 of the Clean Water Act.

We are enclosing a copy of the Approved Jurisdictional Determination Form for your site (enclosure 3).

This approved jurisdictional determination is valid for five years from the date of this letter unless new information warrants revision of the determination before the expiration date. If you object to this determination, you may request an administrative appeal under Corps regulations at 33 Code of Federal Regulations (CFR) Part 331. A Notification of Appeal Process (NAP) and Request for Appeal (RFA) Form is enclosed (enclosure 4).

If you request to appeal this determination, you must submit a completed RFA form to the South Pacific Division Office at the following address: Administrative Appeal Review Officer, Army Corps of Engineers, South Pacific Division, CESPDPDO, 1455 Market Street, 2052B, San Francisco, California 94103-1399, Telephone: 415-503-6574, FAX: 415-503-6646.

In order for an RFA to be accepted by the Corps, we must determine that the form is complete, that it meets the criteria for appeal under 33 CFR Part 331.5, and that the form was received by the Division Office within 60 days of the actual verification date of July 14, 2021. It is not necessary to submit an RFA form to the Division Office unless you object to the determination in this letter.

We recommend that you provide a copy of this letter and notice to all other affected parties, including any individual who has an identifiable and substantial legal interest in the property.

The delineation included herein has been conducted to identify the location and extent of the aquatic resource boundaries and the jurisdictional status of aquatic resources for purposes of the Clean Water Act for the particular site identified in this request. This jurisdictional determination may not be valid for the Wetland Conservation Provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should discuss the applicability of a certified wetland determination with the local USDA service center, prior to starting work.

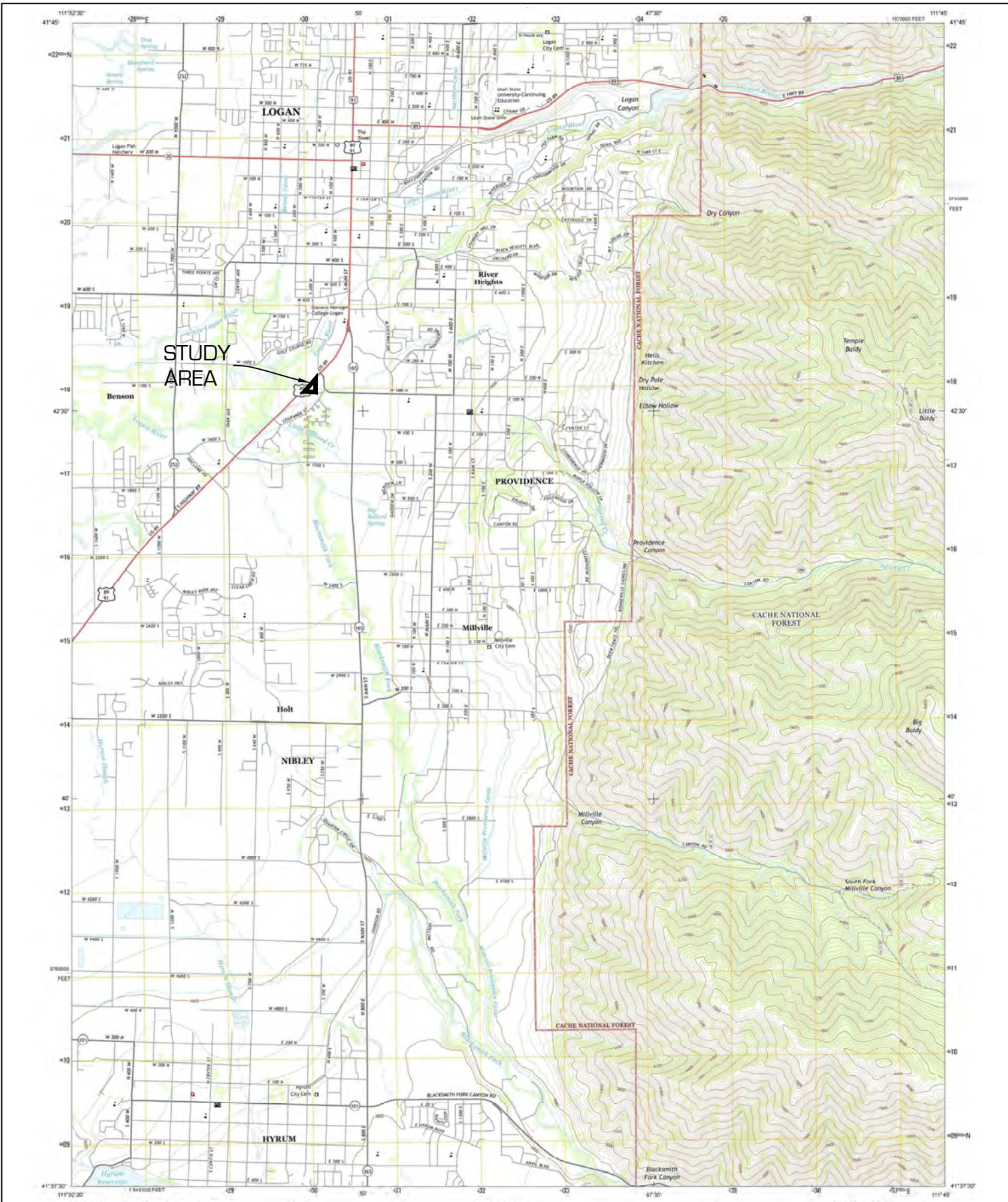
We appreciate feedback, especially about interaction with our staff and our processes.

Please refer to identification number SPK-2000-50057 in any correspondence concerning this project. If you have any questions, please contact Samantha Jones at 533 West 2600 South, Suite 150, Bountiful, Utah 84010, by email at Samantha.J.Jones@usace.army.mil, or telephone at (801) 295-8380 ext. 8311. For program information or to complete our Customer Survey, visit our website at www.spk.usace.army.mil/Missions/Regulatory.aspx.

Sincerely,

Jason Gipson
Chief, Nevada-Utah Regulatory Section

Enclosures

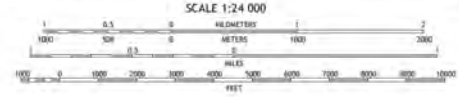


STUDY AREA

Enclosure 1



Produced by the United States Geological Survey
 North American Datum of 1983 (NAD83)
 World Geodetic System of 1984 (WGS84). Projection and
 1:600,000 scale. Universal Transverse Mercator, Zone 12T
 10,000-foot Grid. Utah Coordinate System of 1983 (UAS83) based
 from map is not a legal document. Boundaries may be
 generalized for this map scale. Private lands within some
 jurisdictions may not be shown. Other government landings
 containing private lands.

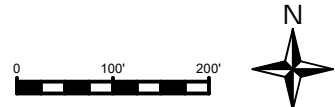
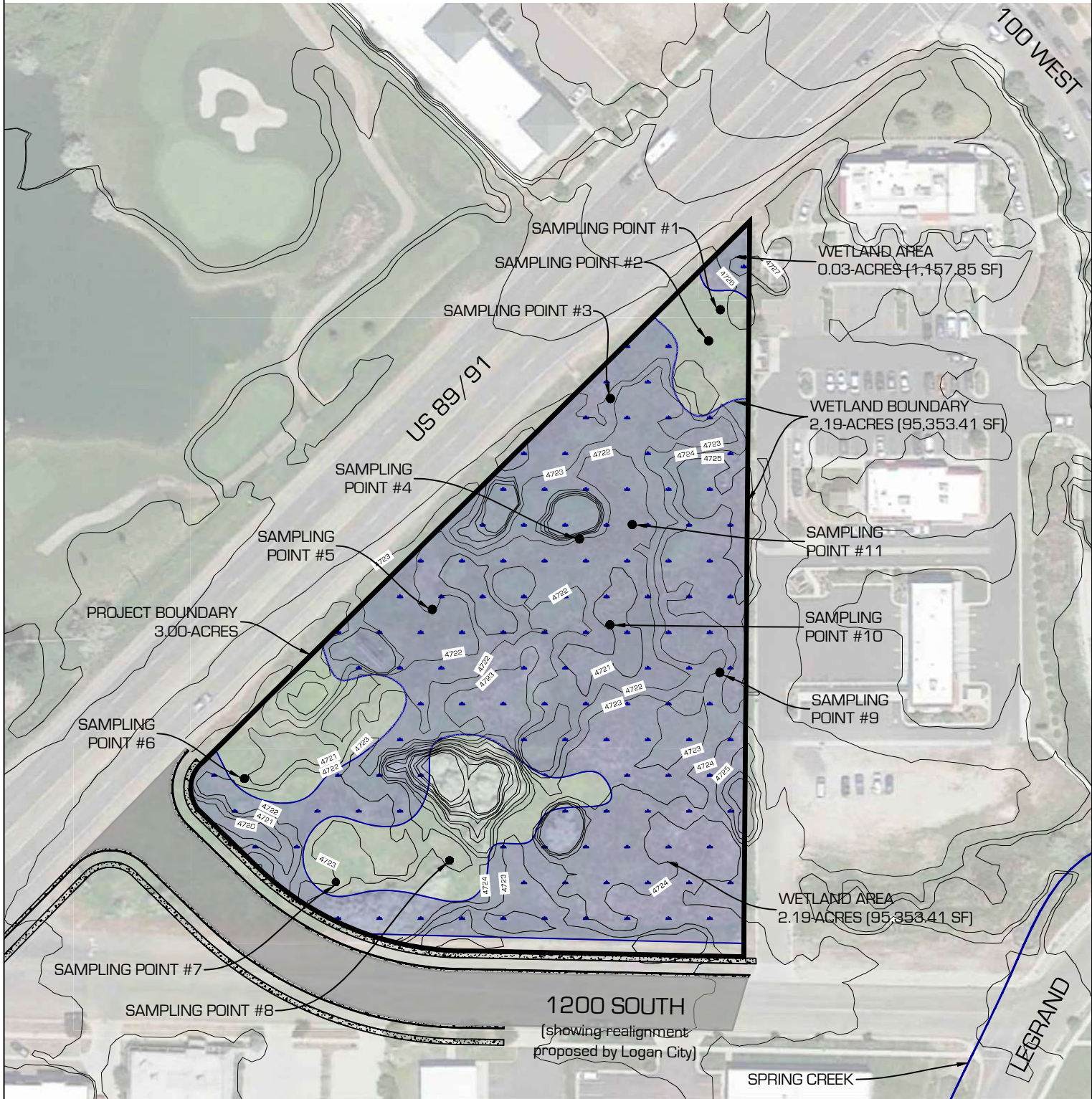


7.5 MINUTE
 TOPOGRAPHY MAP
 LOGAN QUADRANGLE

WHAGTAIL J LLC
 MELISSA JOHNSON
 APPROX. 1200 SOUTH US HWY 89/91
 LOGAN, UTAH 84321



540 WEST GOLF COURSE RD
 SUITE B1
 PROVIDENCE, UT 84332
 P: 435.213.3762
 F: 435.213.3778
 www.civilsolutionsgroup.net





U.S. ARMY CORPS OF ENGINEERS
REGULATORY PROGRAM
APPROVED JURISDICTIONAL DETERMINATION FORM (INTERIM)
NAVIGABLE WATERS PROTECTION RULE

I. ADMINISTRATIVE INFORMATION

Completion Date of Approved Jurisdictional Determination (AJD): July 13, 2021

ORM Number: SPK-2000-50057

Associated JDs: N/A

Review Area Location¹:

State/Territory: UT City: Logan County: Cache County

Center Coordinates of Review Area: Latitude 41.7106 Longitude -111.8403

II. FINDINGS

A. Summary: Check all that apply. At least one box from the following list **MUST** be selected. Complete the corresponding sections/tables and summarize data sources.

- The review area is comprised entirely of dry land (i.e., there are no waters or water features, including wetlands, of any kind in the entire review area). Rationale: N/A or describe rationale.
- There are “navigable waters of the United States” within Rivers and Harbors Act jurisdiction within the review area (complete table in section II.B).
- There are “waters of the United States” within Clean Water Act jurisdiction within the review area (complete appropriate tables in section II.C).
- There are waters or water features excluded from Clean Water Act jurisdiction within the review area (complete table in section II.D).

B. Rivers and Harbors Act of 1899 Section 10 (§ 10)²

§ 10 Name	§ 10 Size	§ 10 Criteria	Rationale for § 10 Determination
N/A	N/A	N/A	N/A

C. Clean Water Act Section 404

Territorial Seas and Traditional Navigable Waters ((a)(1) waters)³

(a)(1) Name	(a)(1) Size	(a)(1) Criteria	Rationale for (a)(1) Determination
N/A	N/A	N/A	N/A

Tributaries ((a)(2) waters):

(a)(2) Name	(a)(2) Size	(a)(2) Criteria	Rationale for (a)(2) Determination
N/A	N/A	N/A	N/A

Lakes and ponds, and impoundments of jurisdictional waters ((a)(3) waters):

(a)(3) Name	(a)(3) Size	(a)(3) Criteria	Rationale for (a)(3) Determination
N/A	N/A	N/A	N/A

Adjacent wetlands ((a)(4) waters):

¹ Map(s)/Figure(s) are attached to the AJD provided to the requestor.

² If the navigable water is not subject to the ebb and flow of the tide or included on the District’s list of Rivers and Harbors Act Section 10 navigable waters list, do NOT use this document to make the determination. The District must continue to follow the procedure outlined in 33 CFR part 329.14 to make a Rivers and Harbors Act Section 10 navigability determination.

³ A stand-alone TNW determination is completed independently of a request for an AJD. A stand-alone TNW determination is conducted for a specific segment of river or stream or other type of waterbody, such as a lake, where independent upstream or downstream limits or lake borders are established. A stand-alone TNW determination should be completed following applicable guidance and should NOT be documented on the AJD form.

⁴ Some excluded waters, such as (b)(2) and (b)(4), may not be specifically identified on the AJD form unless a requestor specifically asks a Corps district to do so. Corps Districts may, in case-by-case instances, choose to identify some or all of these waters within the review area.

⁵ Because of the broad nature of the (b)(1) exclusion and in an effort to collect data on specific types of waters that would be covered by the (b)(1) exclusion, four sub-categories of (b)(1) exclusions were administratively created for the purposes of the AJD Form. These four sub-categories are not new exclusions but are simply administrative distinctions and remain (b)(1) exclusions as defined by the NWPR.



U.S. ARMY CORPS OF ENGINEERS
REGULATORY PROGRAM
APPROVED JURISDICTIONAL DETERMINATION FORM (INTERIM)
NAVIGABLE WATERS PROTECTION RULE

(a)(4) Name	(a)(4) Size	(a)(4) Criteria	Rationale for (a)(4) Determination
N/A	N/A	N/A	N/A

D. Excluded Waters or Features

Excluded waters ((b)(1) – (b)(12))⁴:

Exclusion Name	Exclusion Size	Exclusion ⁵	Rationale for Exclusion Determination
Wetland	2.22 acres	(b)(1) Non-adjacent wetland	Wetland is separated by approximately 232 feet from Spring Creek by a paved road. There are no culverts or other conveyance measures that connect this wetland to Spring Creek. This wetland is a remote isolated wetland since there is no hydrologic surface connection between the wetland and a paragraph (a)(1) through (3) water. A remote isolated wetland meets the (b)(1) exclusion.

III. SUPPORTING INFORMATION

A. Select/enter all resources that were used to aid in this determination and attach data/maps to this document and/or references/citations in the administrative record, as appropriate.

- Information submitted by, or on behalf of, the applicant/consultant: Aquatic Resource Delineation Report Johnson Property originally submitted November 2017, revised June 2021, submitted by Coleman Kline of the Civil Solutions Group, Inc.
This information is sufficient for purposes of this AJD.
Rationale: N/A.
- Data sheets prepared by the Corps: Title(s) and/or date(s).
- Photographs: (aerial and other) Aerials and photos included in the AR report for a site inspection done on June. Google Maps accessed on 6/29/2021.
Corps Site visit(s) conducted on: Date(s).
- Previous Jurisdictional Determinations (AJD): A jurisdictional determination was issued for the site on January 1, 2001.
- Antecedent Precipitation Tool: provide detailed discussion in Section III.B.
- USDA NRCS Soil Survey: Aquatic Resource Delineation Report, Figure 4 dated 11/2/2017.
- USFWS NWI maps: Aquatic Resource Delineation Report, Figure 5 dated 11/2/2017.
- USGS topographic maps: Title(s) and/or date(s).

¹ Map(s)/Figure(s) are attached to the AJD provided to the requestor.

² If the navigable water is not subject to the ebb and flow of the tide or included on the District's list of Rivers and Harbors Act Section 10 navigable waters list, do NOT use this document to make the determination. The District must continue to follow the procedure outlined in 33 CFR part 329.14 to make a Rivers and Harbors Act Section 10 navigability determination.

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Other data sources used to aid in this determination:

Data Source (select)	Name and/or date and other relevant information
USGS Sources	N/A.
USDA Sources	N/A.
NOAA Sources	N/A.
USACE Sources	N/A.
State/Local/Tribal Sources	N/A.
Other Sources	N/A.

B. Typical year assessment(s): N/A.

C. Additional comments to support AJD: The wetland is separated from Spring Creek by a paved road. The study area is a concave area surrounded by commercial development to the east, a state highway to the northwest, and a road to the south. One culvert inlet was observed within the project area in the southwest corner. Any water that would enter the inlet flows into the regional stormwater system. The drainage system conveys stormwater to the south and then empties into a wetland swale off-site to the east of project area. The project area has no drainage connection to the concrete stormwater system, or the off-site wetland swale. There are no culvert connections to any jurisdictional features. Based on information in the AR report, the wetland is supported by a high groundwater table as there was no evidence of a surface-water connection.

¹ Map(s)/Figure(s) are attached to the AJD provided to the requestor.

² If the navigable water is not subject to the ebb and flow of the tide or included on the District's list of Rivers and Harbors Act Section 10 navigable waters list, do NOT use this document to make the determination. The District must continue to follow the procedure outlined in 33 CFR part 329.14 to make a Rivers and Harbors Act Section 10 navigability determination.

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